



Creating Housing Solutions by Connecting People & Homes

2024 Annual Report

Smart Share Housing Solutions, Inc. operates 3 housing programs in San Luis Obispo County: 1) **HomeShare SLO:** To create safe, affordable housing by assisting persons with extra rooms find and successfully live with housemates; 2) **ADU SLO:** To assist County residents with construction or conversions to create small accessory dwelling units and assists the County and 7 jurisdictions with policy and outreach activities to enhance construction of safe, affordable ADUs and tiny houses on wheels (THOWs); and 3) **Co-Living Collaborative** program, which is in the process of construction of the Waterman Village, an adaptive reuse project, developing 20 low-income affordable homes downtown San Luis Obispo, at 466 Dana Street.

Mission, Purpose & History: Smart Share Housing Solutions mission is creating housing solutions by connecting people and homes. The agency started in 2016 to help provide safe, affordable housing for San Luis Obispo County residents, particularly low-income seniors, by finding ways to make use of existing housing resources.

Services: With its three housing programs, Smart Share serves a wide range of primarily low-income San Luis Obispo County residents with services for community health and resilience: to age in place, homeless prevention, sustainable living and affordable housing provision.

Local Housing Needs: San Luis Obispo County consistently lands among the least affordable housing markets in the nation. County residents face a severe housing cost burden. More than one half of renters are cost burdened, and low-income senior homeowners often struggle to pay increasing utility and home maintenance costs on fixed incomes. At the same time, the threat of not being able to age in place can further impact health and well being.

“Smart Share’s programs helped me find a place to live when I was seriously worried about becoming homeless for the first time in my life at 76 years old”

–HomeShare SLO client L–



Coffee Chat Discussion: Benefits of community living

2024 Accomplishments: The HomeShare SLO program: matched 7 new clients in 5 homeshares and ended 2024 with a matched client portfolio of 52 persons in 26 homeshare matches. 2024 saw direct income to providers of \$181,450.00 and rent savings to seekers of \$243,350.00 including benefit

from household help to some home providers. Average rent paid for housing was \$773.

HomeShare SLO celebrated 8 years of client services at the end of 2024, with a total of \$2,889,000.00 in direct benefits to matched clients; 105 total matches serving 166 unique clients with housing and creating much needed affordable housing with no new development or associated impacts. Staff continued to provide counseling and housing resource information to 269 individuals.

ADU-SLO program activities educated and inspired over 300 County participants on legal options for backyard homes. Through 16 workshop trainings, small home tours and upwards of 40 backyard feasibility visits, several clients have applied for building permits for new ADUs and tiny homes on wheels (THOWs) with at least two ADU and THOW backyard homes completed in 2024.

Smart Share helped Michelle obtain a CALHFA grant for site work to construct her Arroyo Grande ADU. See the [video tour](#) of Michelle's newly completed ADU using pre-approved plans and other related videos on the YouTube channel.



Michelle shows off her Arroyo Grande ADU finished in 2024

Program clients Brandon and Lauren installed one of the first tiny homes on wheels (THOWs) in Arroyo Grande with Smart Share staff support to

guide them through the process, from understanding legal options, choosing the right home, purchasing a home, placement and permitting. Learn more with the upcoming 10 Steps to Legal THOW installation on Smart Share's YouTube channel and see Supervisor Jimmy Paulding speak about benefits of THOWs at the home [here](#).



Lauren & Brandon show off their new THOW

The Co-Living Collaborative program continued Waterman Village entitlement activities in 2024. In the fall, the adaptive re-use affordable housing village was approved by three City review bodies, and Smart Share aims to move the Village to building permitting in 2025. See who the village may serve here: [The WV Cottage Homes & Community](#); [An Interview with Susan](#)

Online educational support is available and Smart Share's training video collection is growing with inspirational and technical support for homesharing and ADU/THOW development. Find free content on [Smart Share's YouTube channel](#). Subscribe to learn more and receive new content updates.

Operating Support:

Smart Share programs operate from four primary funding sources: 1) fees for services; 2) government housing grants; 3) private and foundation donations; and 4) contracts for services. Services would not be possible without your generous ongoing support.

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**With thanks to Community Partners, Donors
& Funders:
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HCD/CalHome



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City of San Luis Obispo



MUST! Charities



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County of San Luis Obispo



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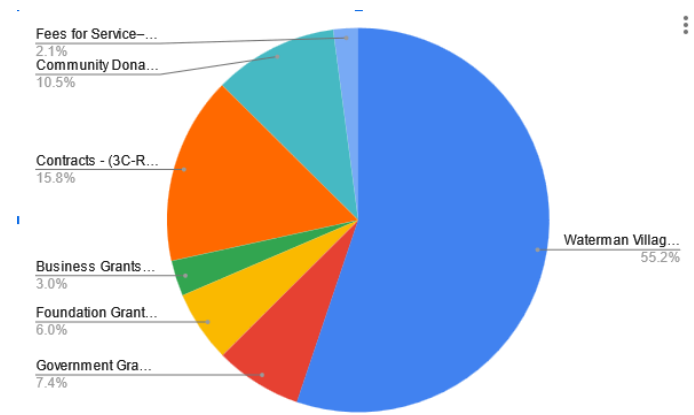
& Rex Wolf, Aimee Wyatt (Bridge Street Inn),
Frank Zika & Josephine Laing

Thank you all and to our Anonymous Donors too!

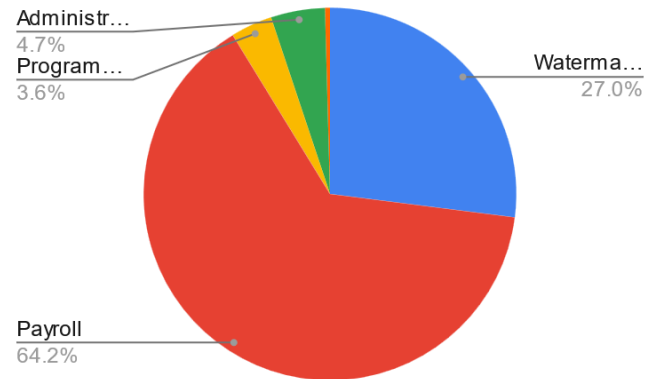
****This list was created by humans; we apologize for any names left out or misspelled. Corrections welcomed.*

Financial Summary:

Total Income: \$166,488



Total Expense: \$127,453



Net Income: \$39,035